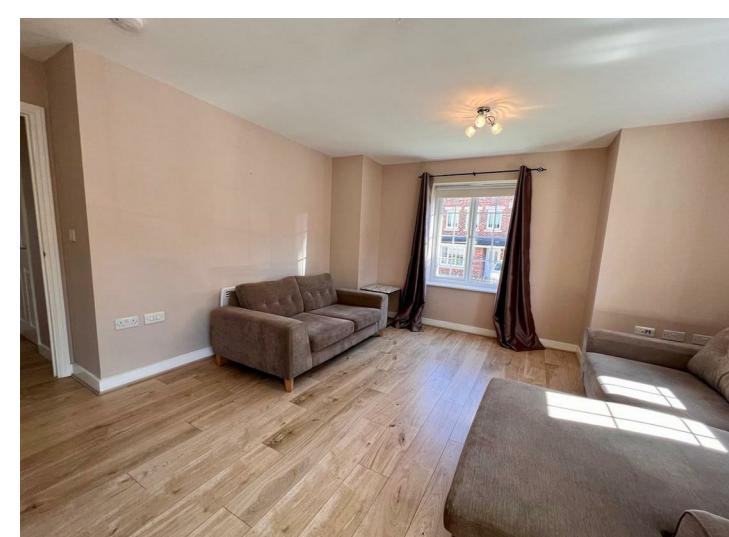




37 Scholars Court Principal Rise, Dringhouses, York, YO24 1UB

Guide Price £215,000



37 Scholars Court Principal Rise, Dringhouses, York, YO24 1UB

£215,000

IDEAL FIRST TIME BUY OR INVESTMENT! A modern ground floor two double bedroom apartment, well presented throughout and providing spacious living accommodation. Situated within this popular residential area just off Tadcaster road and within easy reach of York city centre, local amenities and good road links to the A64. The apartment comprises hallway with useful storage cupboard, good size open plan living area with modern fitted kitchen with integrated appliances, two double bedrooms and a modern shower room. The property also benefits from a bike store. An early viewing is recommended to appreciate the size and standard of accommodation on offer.

Description

Entrance Hallway

Entrance door, electric wall heater. Laminate flooring. Doors to:

Lounge

Double glazed window to the front, window to side, electric wall heater, TV point, power point. Laminate flooring.

Kitchen

Excellent range of base and wall mounted units incorporating roll top work surfaces, ceramic hob, electric oven with extractor fan, single stainless steel sink with mixer tap, tiled splashbacks, plumbing for automatic washing machine, spotlights to ceiling, two double glazed windows.

Bedroom

Double glazed window, to the front, electric wall heater, power points. Laminate flooring.

Bedroom 2

Double glazed window to the front, electric wall heater, power points. Laminate flooring.

Shower Room

Walk-in shower cubicle with electric shower over, sink set in vanity unit, low level WC, heated towel rail. Laminate flooring.

Outside

Bike Store.



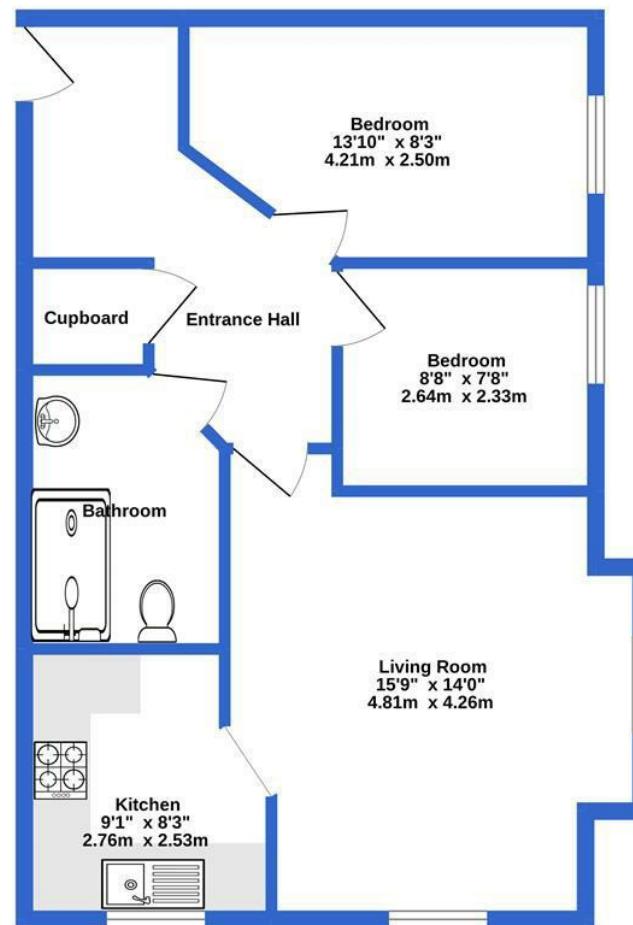
Features

- Ideal First Time Buy Or Investment!
- Modern Ground Floor Apartment
- Two Double Bedrooms
- Well Presented Throughout
- Popular Residential Area Just Off Tadcaster Road
- Council Tax Band C
- EPC C79



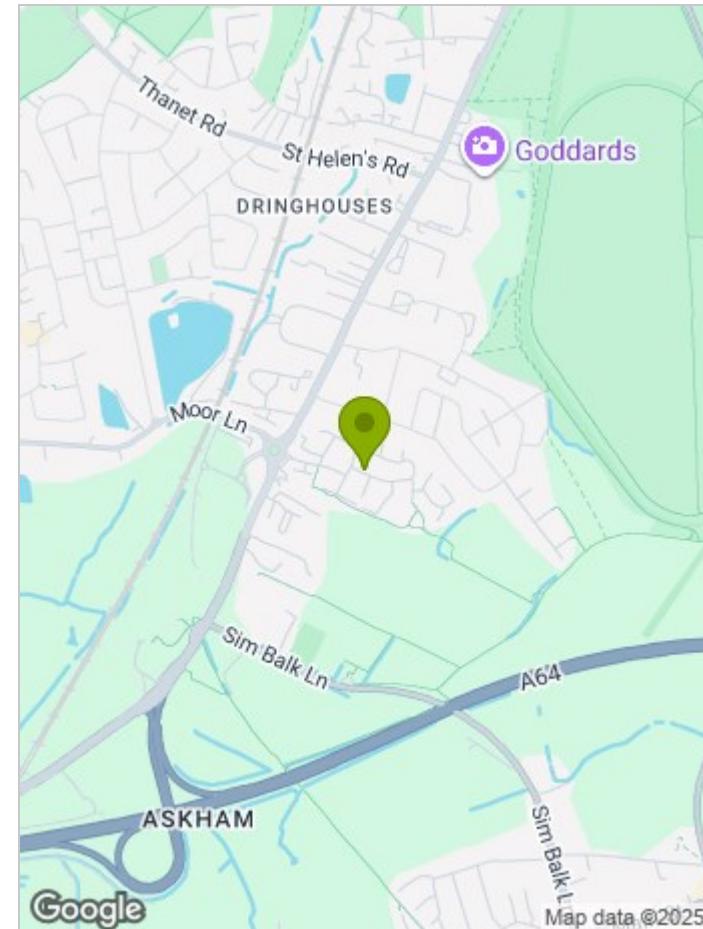
FLOOR PLAN

Ground Floor
590 sq.ft. (54.8 sq.m.) approx.



TOTAL FLOOR AREA : 590 sq.ft. (54.8 sq.m.) approx.
Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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LOCATION



EPC

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		82	
EU Directive 2002/91/EC			

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

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